

SYNOPSIS	
ZONING	TOWN CENTRE AREA COMMERCIAL/RESIDENTIAL ZONE CR-1
CURVE ADDRESS	13220 & 13222 NORTH BLUFF ROAD
LEGAL DESCRIPTION	LOT 8 SECTION 11 TOWNSHIP 1 NEW WESTMINSTER DISTRICT PLAN 71341
SITE AREA	3899 SM (41,966 SF) approx
FLOOR AREA/TENANT IMPROVEMENT WITHIN EXISTING COMMERCIAL BUILDING	
TASTING ROOM	717.78 SQ FT / 66.69 SQ M
NAVO-BREWERY	590.50 SQ FT / 54.86 SQ M
STORAGE WAREHOUSE	356.37 SQ FT / 32.87 SQ M
TOTAL	1664.65 SQ FT / 153.36 SQ M
PARKING	REQUIRED PROVIDED
STREET PARKING	3.89 CARS
CONSTRUCTION	4
CONSTRUCTION OCCUPANCIES	BASE BUILDING: NOT SPRINKLERED COMBUSTIBLE/ENON COMBUSTIBLE GROUP A2 ASSEMBLY (TASTING ROOM) WITH SUBSIDIARY P2 OCCUPANCY (NAVO-BREWERY)

1 OVERALL SITE PLAN
SCALE: 1/8"=1'-0"



CODE ANALYSIS FOR TENANT IMPROVEMENT		
3.1.2	CLASSIFICATION OF BUILDINGS BY MAJOR OCCUPANCIES	REQUIRED
3.1.3.1	SEPARATION OF MAJOR OCCUPANCIES	REQUIRED
3.1.17	OCCUPANT LOAD TABLE 3.1.17.1 INDUSTRIAL USE: MANUFACTURING-FABR PERSON = 50 PERSONS*	REQUIRED
3.2	BUILDING FIRE SAFETY	REQUIRED
3.2.4	FIRE ALARM AND DETECTION SYSTEM	REQUIRED
3.2.4.1.1	FIRE DETECTION	REQUIRED
3.2.4.1.2	SMOKE DETECTORS	REQUIRED
3.2.4.1.7	MANUAL STATIONS	REQUIRED
3.2.7.3	EMERGENCY LIGHTING	REQUIRED

3.4	EXITS	PROVIDED
3.4.2	NUMBER AND LOCATION OF EXITS FROM FLOOR AREAS	2 EXITS
3.4.2.3	LOCATION OF EXITS	9.25M MAX
3.4.3	WIDTH AND HEIGHT OF EXITS	2740mm
3.4.3	EXIT SIGNS	EXIT SIGN PROVIDED ABOVE EACH EXIT DOOR
3.7	HEALTH REQUIREMENTS	REQUIRED
3.7.2.2	WATER CLOSERS	25 MALES = 1 WATER CLOSET 25 FEMALES = 1 WATER CLOSET
3.8	BLDG ROOTS FOR PERSONS WITH ABILITIES	REQUIRED
3.8.2.1.2	SPECIFIC REQUIREMENTS/WCS	1 UNIVERSAL TOILET ROOM REQD
9.2.4.2	SHEET STEEL STUD WALL FRAMING	REQUIRED
9.2.4.2.1	SIZE & SPACING OF STUDS IN INTERIOR WALLS	60MM 3.5M
	MAX STUD HEIGHT	400MM 3.5M

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REV	DATE	DESCRIPTION	BY
1	1/18/17	ISSUED FOR BUILDING PERMIT	BR

3 DOGS BREWING
TENANT IMPROVEMENT
15220 & 15222 NORTH BLUFF ROAD
WHITE ROCK BC

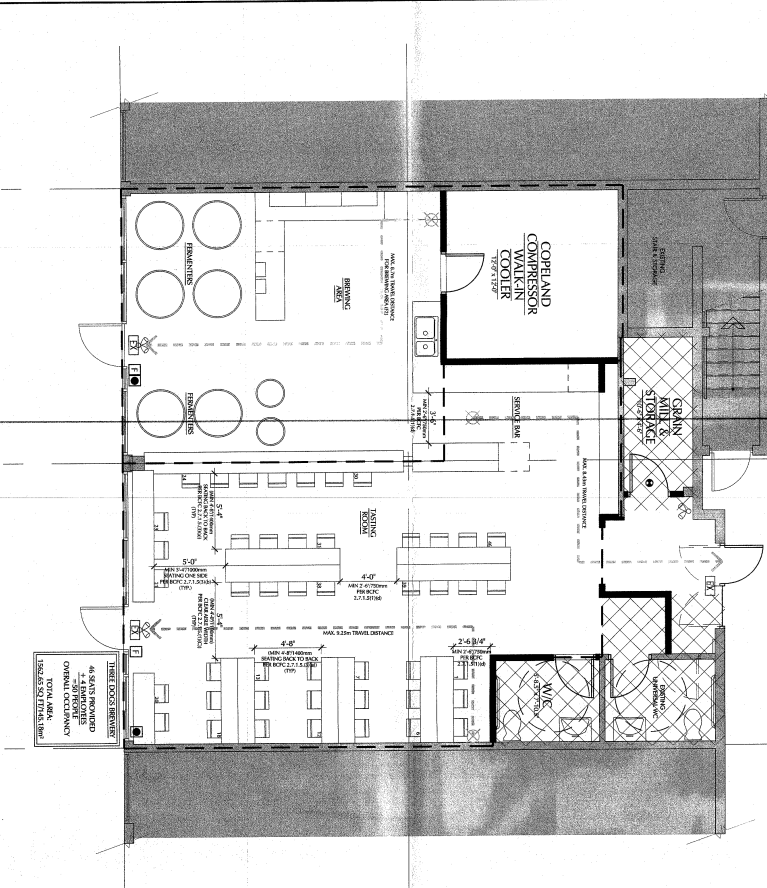
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Ankenman Associates Architects Inc.

1/18/2017
date
BR checked
drawn
job no. 1701
sheet no. A1.01
consultant

**3 DOGS BREWING
 TENANT IMPROVEMENT**
 15220 & 15222 NORTH BLUFF ROAD
 WHITE ROCK BC

title
 OCCUPANT LOAD &
 FIRE PREVENTION PLAN
scale
 1/8" = 1'-0"
date
 OCT. 5, 2015
drawn
 BK checked
 YC
job no.
 1701
sheet no.
 A2.02
consultant



1 MAIN FLOOR-OCCUPANT LOAD
 A2.02 SCALE: 1/8" = 1'-0"

3 DOGS BREWERY TL

TOTAL EXIT WIDTH CALCULATIONS

OF EXITS = 3
 EXIT WIDTH = 3,914.4mm (SINGLE DOOR)
 = 2743.2mm

TOTAL EXIT WIDTH OCCUPANT LOAD = TOTAL EXIT WIDTH / 6.1mm PER PERSON
 = 2743.2mm / 6.1mm PER PERSON
 = 449.7 PERSONS

TOTAL EXIT WIDTH OCCUPANT LOAD IS 449 PEOPLE

NET FLOOR SPACE CALCULATIONS

TOTAL GROSS FLOOR SPACE (INCL. WASHROOMS/STORAGE) = 1564.65 SQ FT / 145.50m²
 NET FLOOR AREA NANO-BREWERY = 590.50 SQ FT / 54.86m²
 NET FLOOR AREA TASTING ROOM = 777.78 SQ FT / 71.98m²
 TOTAL NET FLOOR AREA = 1368.28 SQ FT / 127.15m²

OCCUPANT LOAD BASED ON NET FLOOR SPACE:
 54.86m² / 1.6 = 34.29 PEOPLE
 66.69m² / 1.2 = 55.57 PEOPLE
67.20 PEOPLE

PERMITTED OCCUPANT LOAD BASED ON NET FLOOR SPACE:
67.20 PEOPLE

PROPOSED TOTAL OCCUPANTS:
 (LIMITED BASED ON 3.7.2.2-HEALTH REQTS) **46 PEOPLE** (BREWERY / TASTING ROOM STAFF)
 (LIMITED BASED ON 3.7.2.2-HEALTH REQTS) **46 PEOPLE** (WITH NON-FIRED SEATS AND TABLES)
 PERMITTED OCCUPANT LOAD BASED ON HEALTH REQTS:
50 PEOPLE

(TABLES BY SPACING PER 4.2.1.2)

ASSEMBLY SCHEDULE	ASSEMBLY SCHEDULE
EXISTING INTERIOR PARTITIONS TO REMAIN	EXISTING INTERIOR PARTITIONS TO REMAIN
NEW INTERIOR PARTITIONS TO REMAIN	NEW INTERIOR PARTITIONS TO REMAIN
NEW INTERIOR PARTITIONS TO BE REMOVED	NEW INTERIOR PARTITIONS TO BE REMOVED
NEW INTERIOR PARTITIONS TO BE REMOVED	NEW INTERIOR PARTITIONS TO BE REMOVED

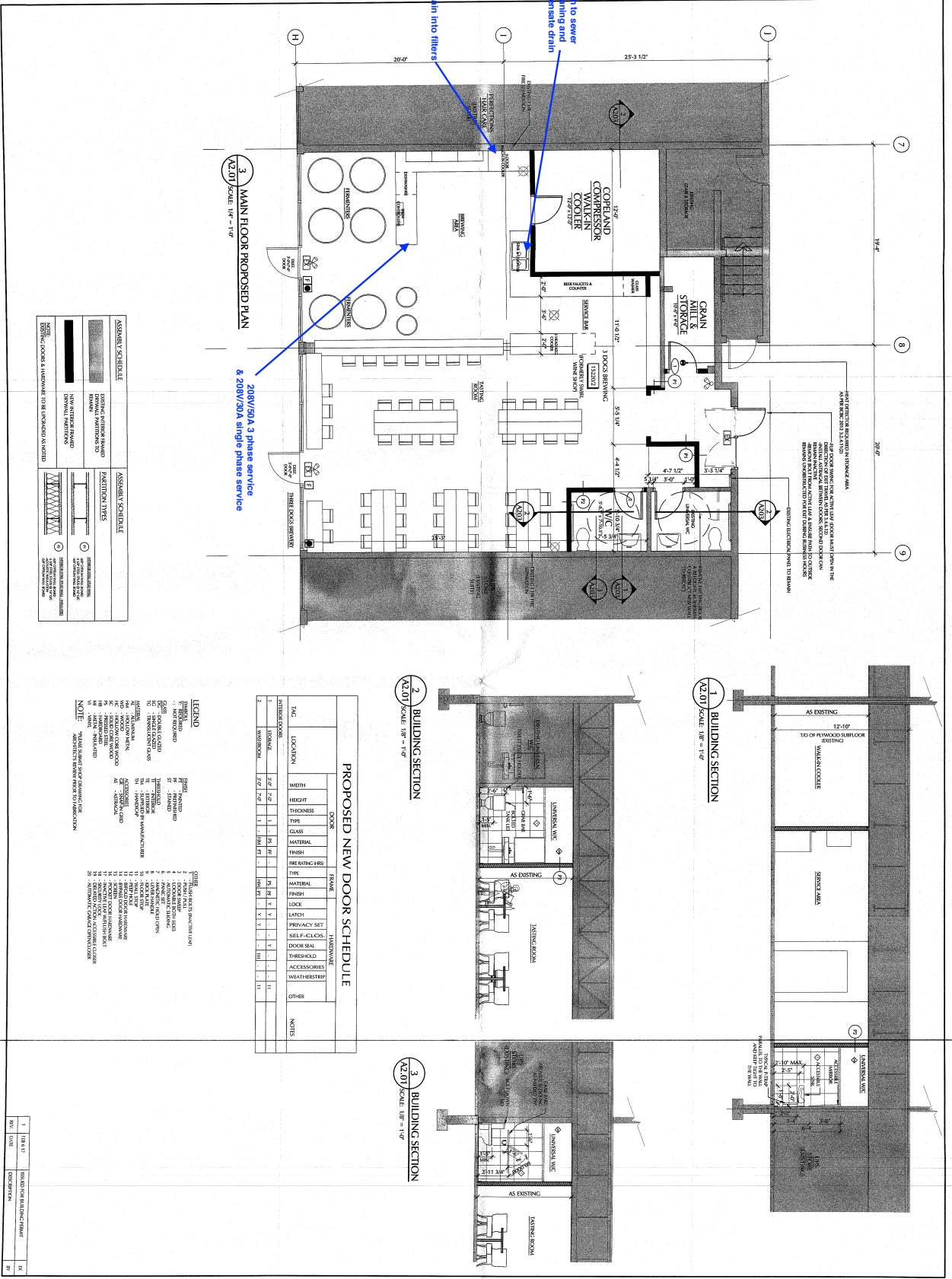
REV.	DATE	DESCRIPTION	BY
1	FEB 6 17	ISSUED FOR BUILDING PERMIT	BK
2			BK

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**3 DOGS BREWING
 TENANT IMPROVEMENT**
 15220 & 15222 NORTH BLUFF ROAD
 WHITE ROCK BC

title
 LEVEL 1 FLOOR PLANS
 & BUILDING SECTIONS
scale
 1/8" = 1'-0"
date
 OCT. 3, 2015
drawn
 EC checked
 YC
job no.
 1701
sheet no.
 A2.01
consultant

Design is for the use of a contractor who shall be responsible for the construction of the building. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The architect shall not be responsible for the construction of the building or for any damage to the building or its contents.



ASSUMED SCHEDULE	ASSUMED SCHEDULE
1. PAINTED	1. PAINTED
2. POLISHED	2. POLISHED
3. STAINED	3. STAINED
4. STAINED	4. STAINED
5. STAINED	5. STAINED
6. STAINED	6. STAINED
7. STAINED	7. STAINED
8. STAINED	8. STAINED
9. STAINED	9. STAINED
10. STAINED	10. STAINED
11. STAINED	11. STAINED
12. STAINED	12. STAINED
13. STAINED	13. STAINED
14. STAINED	14. STAINED
15. STAINED	15. STAINED
16. STAINED	16. STAINED
17. STAINED	17. STAINED
18. STAINED	18. STAINED
19. STAINED	19. STAINED
20. STAINED	20. STAINED